



**KEYWEST FARMS  
PLANNED UNIT DEVELOPMENT DESIGNATION  
(Also known as "BUCK RIDGE AT KEYWEST FARMS")**

This Keywest Farms Planned Unit Designation, originally approved in 1979, and as amended from time to time, is hereby further amended this 4th day of December, 2000 by the Board of County Commissioners of Summit County, Colorado. This designation establishes uses permitted on the property, its conceptual development plan, and specific development regulations which must be adhered to by Keystone Norse LLC, a Colorado Limited Liability Company, it's successors and assigns, who is owner and developer, and is hereinafter referred to as the "Owner/Developer". This designation also specifies improvements which must be made and conditions which must be fulfilled in conjunction with this designation by the "Owner/Developer". This Planned Unit Development Designation applies to certain real property located in Summit County and described in attached Exhibit A, hereinafter referred to as the "Property".

Where a specific regulation or development standard is not covered by this PUD Designation, the provisions contained in the Summit County Land Use and Development Code, hereinafter referred to as the "Code", shall be followed.

**A. PERMITTED USES AND DEVELOPMENT PLAN**

Use and development of the property shall be in accordance with the Conceptual Development Plan attached hereto as Exhibit B and the following specific requirements:

**1. Permitted Uses and Density**

A total of 82 dwelling units (76 free market units and 6 employee/affordable housing units, as defined herein) are permitted on the property.

A maintenance building

A hot tub/covered patio building

Recreational amenities including, but not limited to, tot lots, picnic tables, benches, barbecues, pedestrian and bike paths and open recreation fields.

Recreational vehicle storage, provided that all such storage occur in the area designated for such use located in the south west corner of the property, as depicted on the site plan. No RV storage shall be allowed on any parking space shown on the site plan.

copy

**2. Accessory and Conditional Uses**

Accessory uses shall be the same as those allowed under the provisions of the R-6 zoning district, as now in effect or hereinafter amended. No conditional uses shall be permitted on the property.

**B. DEVELOPMENT STANDARDS**

**1. Building Height**

Building heights shall not exceed 35 feet, as defined in the Code.

**2. Habitable Floor Area**

The maximum amount of habitable floor area for the property shall be 109,700 square feet. For the purposes of this PUD Designation habitable floor area shall be defined as the total floor area within each of the dwelling units, located within the line of the interior walls of the dwelling units, excluding garage areas. The maintenance building and the hot tub/covered patio building shall not be included in the calculation of habitable floor area.

**3. Setbacks**

Minimum building setbacks from property lines shall be as follows:

- North property line: 50 feet
- West property line: 50 feet
- East property line: 25 feet
- South property line: 15 feet
- Other property lines 15 feet

**4. Parking**

Parking shall be provided as depicted in Exhibit B and in conformance with the following standards:

- 1.5 spaces for one bedroom units
- 2 spaces for two, three and four bedroom units

Additionally, a minimum of an additional ½ space per dwelling unit of common parking area shall be required. Tandem parking shall be allowed in order to meet the requirements stated above. In no event shall the number of parking spaces on the property be less than 216.

**5. Site Coverage**

Maximum site coverage for the property shall be as reflected on Exhibit B, however a 10% increase in site coverage may be allowed to accommodate future minor site

modifications to the property (e.g., walking path or parking space additions or realignments, non-habitable buildings or additions, etc.).

**6. Bedrooms and Occupancy**

The total numbers of bedrooms allowed within the PUD is 208. The location of these bedrooms is reflected on the site plan drawings approved concurrently with this PUD amendment. The creation of any additional bedrooms on the property is prohibited. In particular, those rooms, labeled as “home offices” and located on the first floor of each unit as depicted on the site plan drawings approved concurrently with this PUD amendment shall never be converted to bedrooms.

No unit shall be used for any purpose other than single family residential purposes. The maximum number of unrelated adults that may reside in any of the units shall not exceed three (3).

**7. Snow Storage**

Snow storage areas shall be designed in compliance with the code.

**8. Signs and Lighting**

All signs and lighting shall comply with the Summit County Sign Regulations, as now in effect or hereafter amended.

**9. Site Plan Review**

The project shall at all times comply with Section 12600 of the Code.

**C. EMPLOYEE/AFFORDABLE HOUSING REQUIREMENTS**

The Owner/Developer shall provide 6 employee/affordable housing units within the property, as outlined below:

1. Employee/Affordable housing unit: A unit which is deed restricted as approved by the County Planning Department. At a minimum, the deed restrictions for the employee/affordable housing units shall include the following provisions:
  - The average initial sale price of the affordable housing units should be set at a price that is affordable to somebody making 100% of A.M.I.
  - Resale prices of the units should be capped at 5% per year or the annual percentage increase in the Summit County median income, which ever is greater.
  - The units may be owner occupied or rented, as long as the unit is occupied by a Summit County resident who lives in Summit County and works a minimum of 30 hours per week and greater than six months per year.
  - The deed restrictions shall run in perpetuity.
2. Location and timing of construction: The employee/affordable housing units shall be located in building #4 as shown on the approved site plan for the project. It is the intention of this PUD Designation that the employee/affordable housing units be constructed in conjunction with the first half of the free market units. No certificates

- of occupancy shall be issued for any free market units beyond the first 38 units until certificates of occupancy have been issued for the employee/affordable housing units.
3. Deed restriction: Prior to the issuance of any grading or building permits for the project the Owner/Developer shall have received approval from the County of the deed restrictions for the 6 employee/affordable housing units. The approved deed restrictions must be recorded prior to the issuance of any certificates of occupancy for the buildings in which they are located.
  4. Real Estate Transfer Fee: Prior to the issuance of any grading or building permits for the project the Owner/Developer shall comply with all written and oral statements and representations made by Owner/Developer and its representatives in connection with this application, including those relating to the affordable housing covenants and fees for the benefit of the Summit Housing Authority.

#### **D. REQUIRED IMPROVEMENTS**

##### **1. Access**

The Owner/Developer shall provide an emergency access easement through the Keywest Farms property to the Swan Mountain Resort property for the benefit of the Swan Mountain Resort Homeowners Association. This easement shall be dedicated prior to the issuance of certificates of occupancy for any buildings on the property.

##### **2. Water Systems**

Water supply for the development shall be provided by the East Dillon Water District. Construction of all water lines shall be in conformance with the regulations of the district. Adequate fire flows shall be provided as determined by the Snake River Fire District.

##### **3. Sewer Systems**

Sewer service for the development shall be provided by the Snake River Sewer District. Construction of all sewer lines shall be in conformance with the regulations of the district.

##### **4. Fire Protection**

The property is located within the Snake River Fire District. All development on the property shall meet all fire protection requirements of the District.

##### **5. Utilities and Easements**

All new utility lines shall be installed in full accordance with the standards of each utility provider and Summit County Subdivision Regulations. Easements for all utilities shall be shown on applicable townhouse or condominium plats for the property.

The Owner/Developer shall dedicate a 30 foot wide non-motorized public recreational trail easement along those portions of the property depicted on Exhibit B. The easement shall be provided prior to the issuance of any certificates of occupancy on the property.

## **6. Recreational Improvements and Open Space Dedications:**

The Owner/Developer has proposed to, and shall, provide the following recreational amenities on the property:

- Two tot lots, which will include a multi-use play center constructed of western cedar (see attached detail sheet). Each play center will have an attached swing set, ten foot wave slide, Olympic rings and various multilevel platforms. An area of approximately 36'x36' under and around the play center will be covered with pea gravel. Benches shall be located near each tot lot.
- A 240 sq. ft. (10'x 24') hot tub/covered patio building, which will provide changing rooms, a sauna and a bathroom for two adjacent hot tubs. The hot tub area shall be surrounded by a 5 foot tall solid wood fence. The covered patio portion of the building will include two picnic tables and two barbecues will be located nearby.
- An approximately half acre central open space/recreation area that will be sodded and sprinkled.
- A ten foot wide public pedestrian/bike path along the west, north and east sides of the property and several private six foot wide asphalt paths.
- A picnic table and barbecue is located near the southern tot lot.

## **7. Public Use Area Fees:**

Pursuant to Section 8601 of the Code the Owner/Developer is required to provide public use areas. The requirement for public use areas may be met by either payment of fees, land dedication, or obtaining credits for construction of recreational facilities. The construction of the proposed 10 foot wide public recreational trail and dedication of the 30 foot wide non-motorized public recreational trail easement along the west, north and east sides of the property fully meets all applicable public use area requirements for the Keywest Farms PUD as established under Section 8601 of the Code.

## **D. GENERAL PROVISIONS**

### **1. Enforcement**

The provisions of the planned unit designation and the development plan relating to the use of land and the location of common open space shall run in favor of Summit County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law. Other provisions of the planned unit development designation and the development plan shall run in favor of the residents, occupants and owners of the planned unit development, but only to the extent expressly provided in, and in accordance with the terms of, the planned unit development designation and the development plan. Provisions not expressly stated as running in favor of the residents, occupants or owners of the planned unit development shall run in favor of the County.

### **2. Breach of Provisions of PUD Designation**

If any time, any provision or requirements stated in the planned unit development designation has been breached by the Owner/Developer, the County may withhold approval of any or all site plans or plat maps, or the issuance of any or all grading or

building permits or occupancy permits applied for on the Property, until such breach has been remedied; provided, however, that the County shall not take affirmative action on account of such breach until it shall have first notified the Owner/Developer in writing and afforded the Owner/Developer a reasonable opportunity to remedy the same.

**3. Binding Effect**

The PUD Designation shall run with the land and be binding upon the Owner/Developer, their respective successors, representatives and assigns, and all persons who may hereafter acquire an interest in the Property or any part thereof, with the exception that provisions of this designation may be modified through an amendment in accordance with the procedure stated in the County Development Review Procedures. This designation shall be recorded in order to put prospective purchasers or other interested persons on notice as to the terms contained herein.

**4. Amendments**

Amendments to the provisions of a planned unit development designation shall be reviewed and acted upon as a rezoning application, subject to the County's procedures for zoning amendments and to the requirement for findings under the Planned Unit Development Act of 1972 at CRS 24-67-106(3)(b).

**5. Notices**

All notices required by this designation shall be in writing and shall be either hand-delivered or sent by certified mail, return receipt requested, postage prepaid, as follows:

Notice to County:

Board of County Commissioners  
P.O. Box 68  
Breckenridge, CO 80424

Notice to Owner/Developer

Keystone Norse LLC  
9588E. Pinnacle Peak Rd.  
Scottsdale, AZ 85255

All notices so given shall be considered delivered three days after the mailing thereof. Either party, by notice so given, may change the address to which future notices shall be sent.

**6. Entire Designation**

This designation contains all provisions and requirements incumbent upon the Owner/Developer relative to the Keywest Farms Planned Unit Development, except as modified by subsequent action of the Board of County Commissioners in accordance with procedures set forth in the Summit County Land Use and Development Code and the Colorado Planned Unit Development Act (CRS 24-67-106) for amending planned unit developments, and except that nothing contained herein shall be construed as waiving any requirements of the Summit County Land Use and Development Code or other regulations otherwise applicable to the development of the Property.

**7. Relationship to Original PUD Designation and Previous Amendments**

To the extent the provisions of this revised PUD Designation are the same in substance to the provisions of earlier approved versions of this PUD designation, they shall be considered as continuations thereof and not new enactment's. Where provisions of this revised PUD Designation conflict with earlier approved versions of the Keywest Farms PUD Designation the provisions of this revised PUD Designation shall supersede and replace such provisions.

**8. PUD Review Requirements**

The Summit County Land Use and Development Code, Chapter 12, includes procedures and requirements for review of all Planned Unit Developments. The Owner/Developer shall be on notice of these requirements and shall insure that information necessary for the periodic review is made available to the County within the time frames as may be established in Chapter 12. The Owner/Developer further understands that failure to provide the necessary information or to proceed with the review process may result in development approvals within the PUD being withheld.

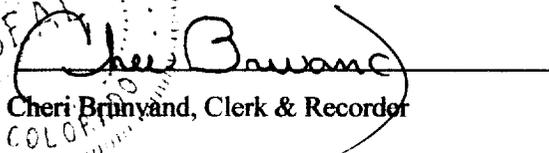
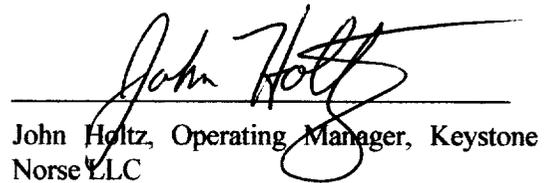
IN WITNESS WHEREOF, the County and the Owner/Developer have executed this Designation as of the date first written above.

BOARD OF COUNTY COMMISSIONERS  
OF SUMMIT COUNTY, COLORADO



Gary Lindstrom, Chairman

Approved as  
in form  
  
Legal

  
Cheri Brunvand, Clerk & Recorder  
John Holtz, Operating Manager, Keystone  
Norse LLC

## EXHIBIT A

### LEGAL DESCRIPTION

A part of Lot 62, Key West Farms PUD, a resubdivision of Tracts A, B, G, F, lots 29 and 30 according to the plat thereof filed November 3, 1980 at reception no. 214367, County of Summit, State of Colorado. More particularly described as follows:

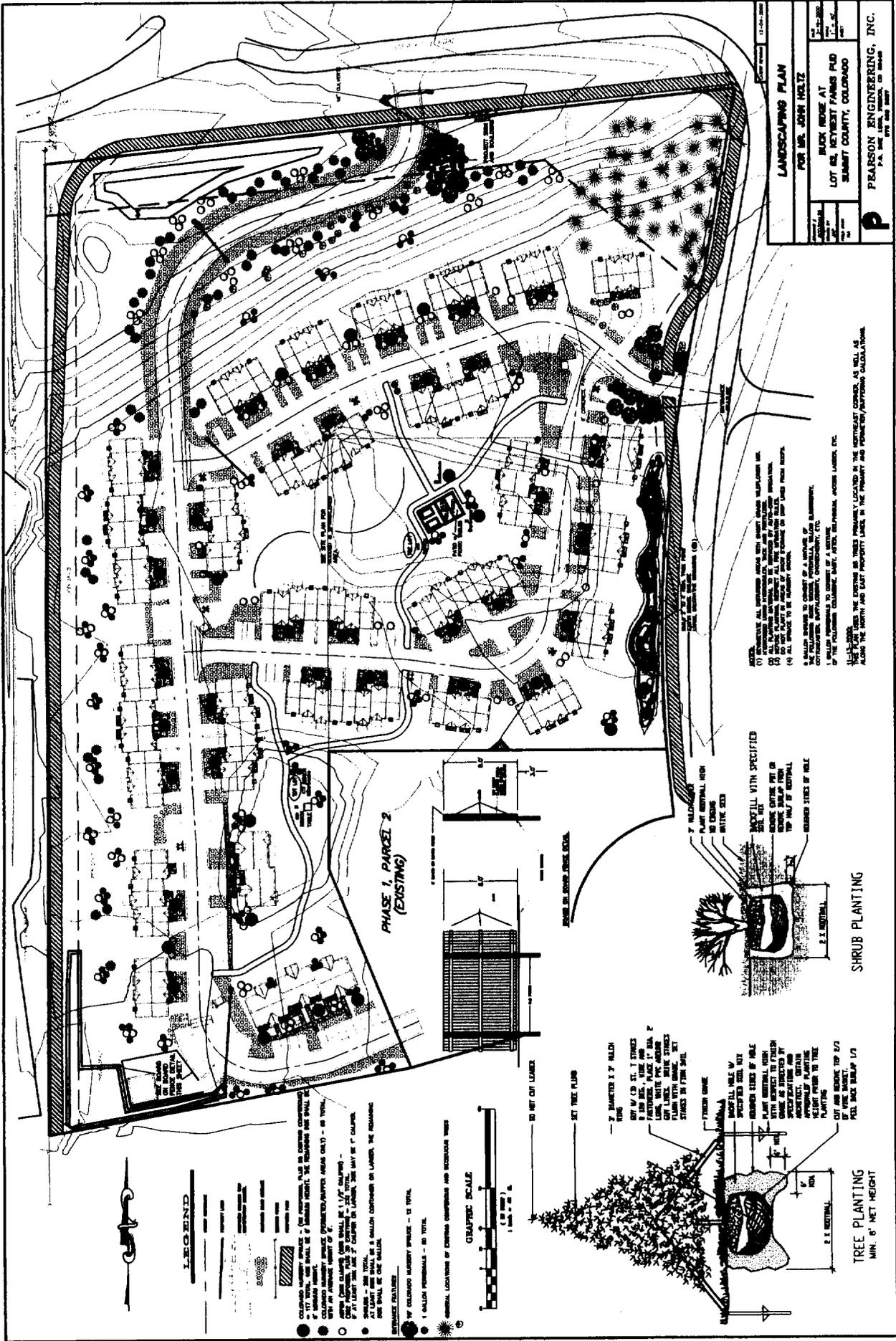
Parcel A beginning at the northeast corner of said Lot 62, thence south  $84^{\circ}3'17''$  west a distance of 699.65 feet to the northwest corner of Lot 62, thence south  $00^{\circ}8'58''$  east a distance of 979.89 feet to the southwest corner of Lot 62, thence north  $79^{\circ}44'2''$  east along the south boundary line of Lot 62 a distance of 371.46 feet to the southwest corner of Swan Mountain Resort Phase 1, Parcel 2 as filed for record in said office of the Summit County Clerk and Recorder, thence northerly along the west boundary line of said Swan Mountain Resort Phase 1, Parcel 2 for the following two courses: 1) North  $22^{\circ}32'00''$  west a distance of 216.62 feet. 2) North  $00^{\circ}00'00''$  west a distance of 119.72 feet to the northwest corner of said Swan Mountain Resort Parcel, thence continuing north  $00^{\circ}00'00''$  west a distance of 318.00 feet to the northwest corner of an exception to said Lot 62,

Thence north  $90^{\circ}00'00''$  west a distance of 351.35 feet to the northeast corner of said exception, also being a point on the east boundary line of said Lot 62, thence north along said east boundary line of Lot 62 for the following four (4) courses: 1) 87.35 feet along the arc of a curve to the right. Having a central angle of  $3^{\circ}19'27''$ , a radius of 1540.00 feet and a chord which bears north  $9^{\circ}16'24''$  east 89.34 feet distant 2) North  $10^{\circ}56'10''$  east a distance of 67.44 feet. 3) 158.56 feet along the arc of a curve to the left, having a central angle of  $2^{\circ}2'3''$ , a radius of 4466.20 feet and a chord which bears north  $9^{\circ}55'9''$  east 158.55 feet distant, 4) North  $8^{\circ}54'7''$  east a distance of 33.04 feet to the point of beginning, County of Summit, State of Colorado.

Parcel B beginning at the northeast corner of Lot 62, Keywest Farms PUD Summit County, Colorado, thence along the west right-of-way line of Soda Ridge Road south  $8^{\circ}54'7''$  west 33.04 feet to a point of curve, thence 158.56 feet along the arc of a curve to the right, having a radius of 4466.20 feet and a central angle of  $2^{\circ}2'3''$  and a chord bearing south  $7^{\circ}53'5''$  west 158.55 feet, thence south  $10^{\circ}56'10''$  west 67.44 feet to a point of curve, thence 89.33 feet along the arc of a curve to the left having a radius of 1540.00 feet and a central angle of  $3^{\circ}19'28''$  to true point of beginning, thence leaving the west right-of-way line of Soda Ridge Road west 351.35 feet, thence south 318.00 feet; thence east 342.01 feet to a point of curve on the west right-of-way line of Soda Ridge Road, 318.71 feet along the arc of a curve to the right having a radius of 1540.00 feet and a central angle of  $11^{\circ}51'2''$  to the point of beginning, County of Summit, State of Colorado.

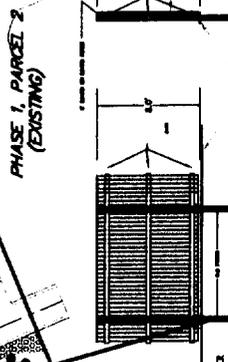
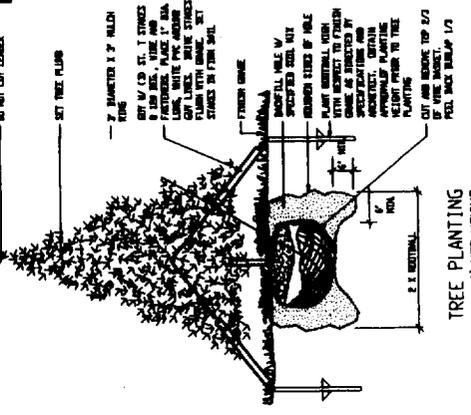
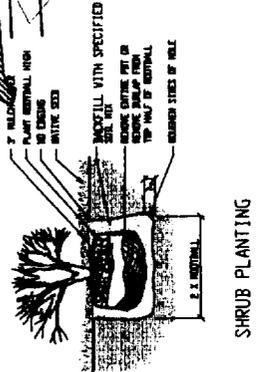


EXHIBIT B SHEET 2 of 14



LANDSCAPING PLAN		DATE: 11-24-88
FOR MR. JOHN MELTZ		SCALE: AS SHOWN
BUCK HOME AT		PROJECT NO. 88-001
LOT 62, HAYSTACK FARMS PUD		DATE: 11-24-88
SUMMIT COUNTY, COLORADO		BY: J.E.S.
PEARSON ENGINEERING, INC.		FOR: J.E.S.
P.O. BOX 1000, DENVER, CO 80202		

- NOTES:
- 1) EXISTING ALL UTILITIES ARE SHOWN WITH SHOWN EXISTING UTILITIES. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT. ALL UTILITIES SHALL BE RELOCATED AS NECESSARY TO ACCOMMODATE THE PROJECT. ALL UTILITIES SHALL BE RELOCATED AS NECESSARY TO ACCOMMODATE THE PROJECT.
  - 2) ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS PLAN. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS PLAN.
  - 3) ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS PLAN. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS PLAN.
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LEGEND

Symbol	Description
Circle with dot	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with cross	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with horizontal lines	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with vertical lines	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with diagonal lines	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with wavy lines	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with dots	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with stars	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with triangles	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with squares	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with diamonds	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with hexagons	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with octagons	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with circles	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with squares	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with diamonds	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with hexagons	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with octagons	1" COLONNAD BATTERY SPACER - 10 TOTAL
Circle with circles	1" COLONNAD BATTERY SPACER - 10 TOTAL



GRAPHIC SCALE  
1" = 50' @ 1/4"

PHASE 1, PARCEL 2  
(EXISTING)

DO NOT CUT LINDER  
SET TREE FLING

MIN. 6' NET HEIGHT

SHRUB PLANTING

TREE PLANTING

MIN. 6' NET HEIGHT

DO NOT CUT LINDER

SET TREE FLING

MIN. 6' NET HEIGHT

SHRUB PLANTING

TREE PLANTING

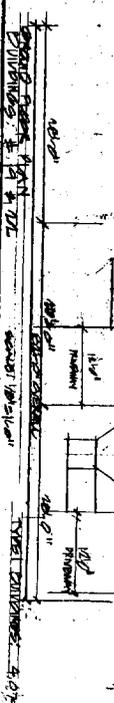
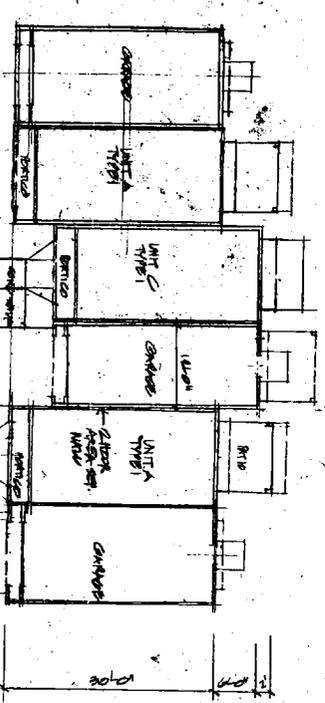
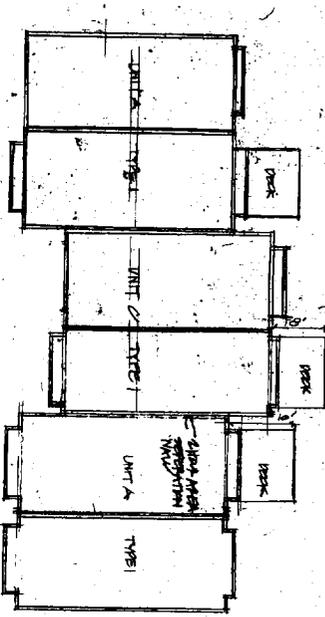
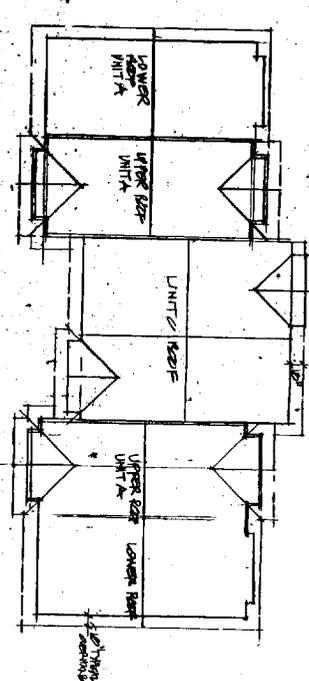
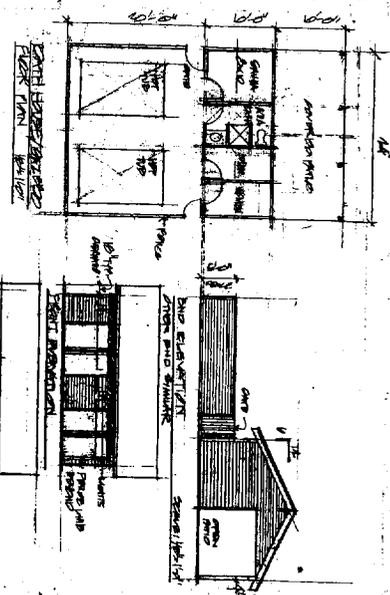
MIN. 6' NET HEIGHT







EXHIBIT B SHEET 6 OF 14



KEYWEST FARMS



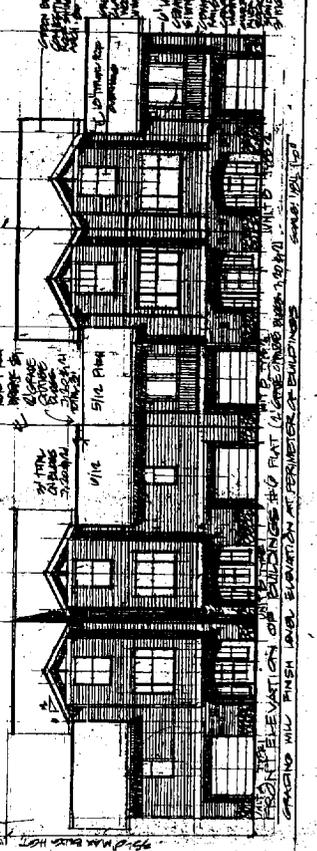
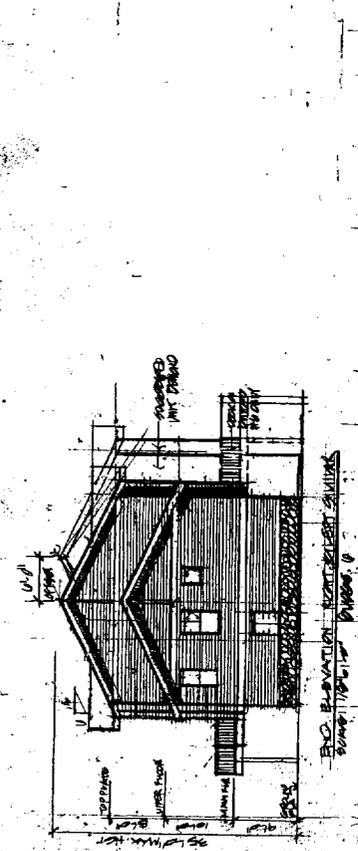
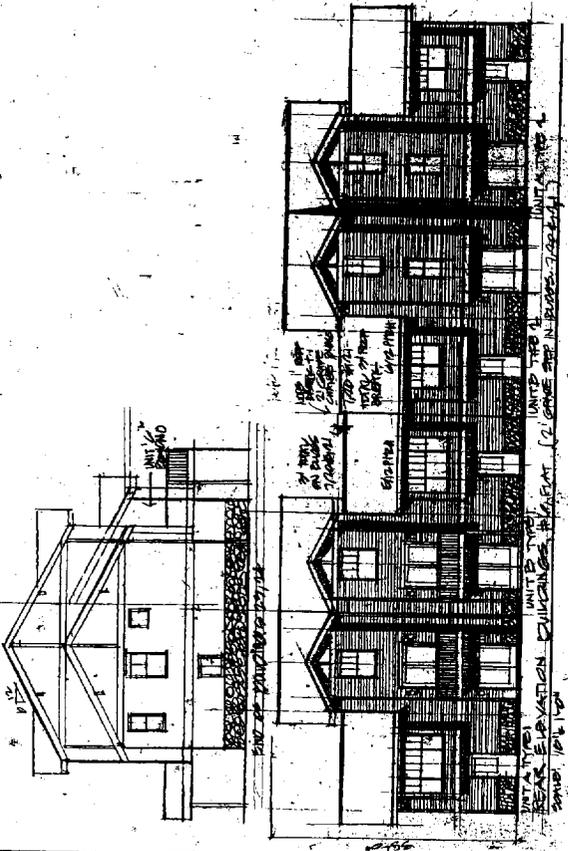
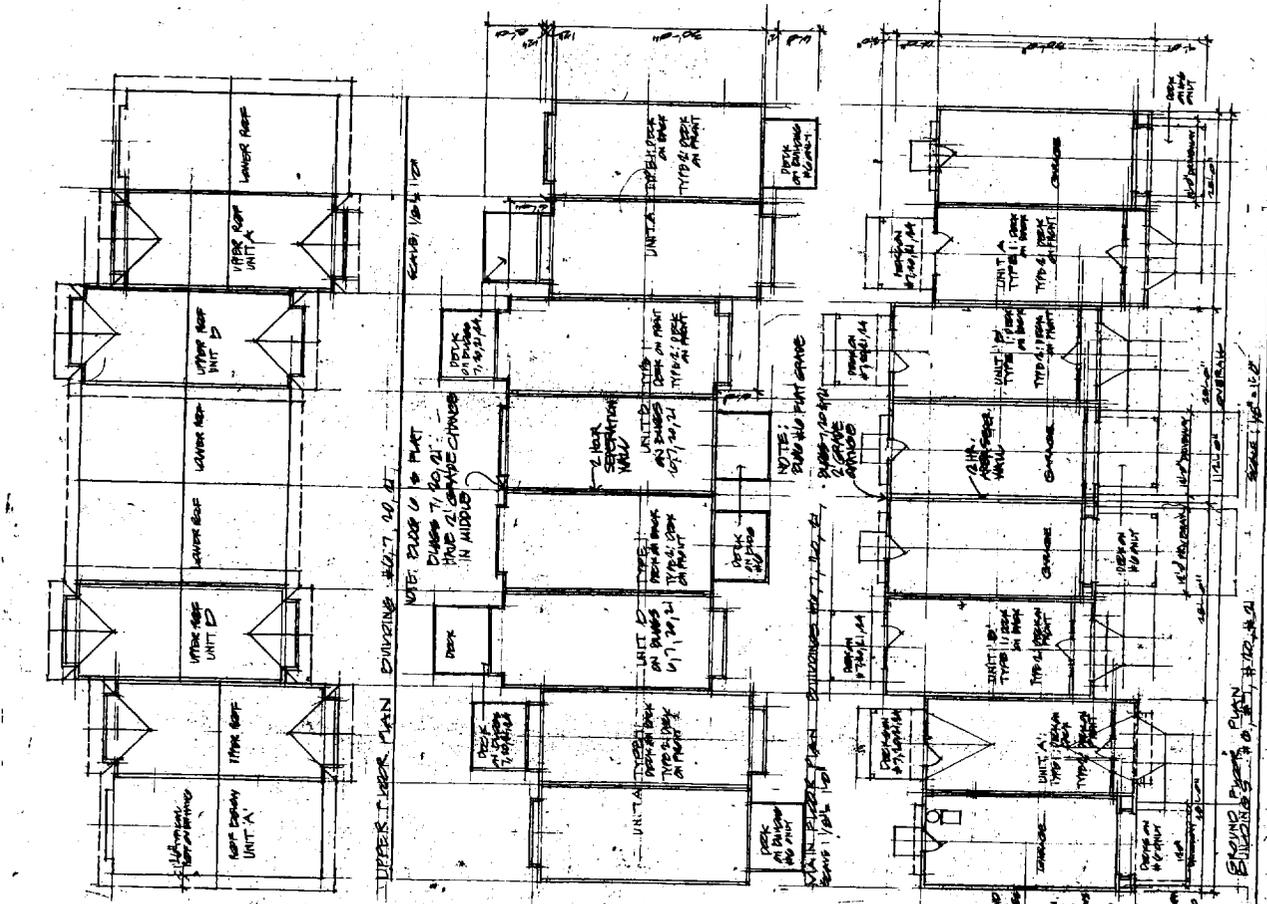


# KEYWEST FARMS

11. 125. 0000  
ARCHITECT  
RECORDED

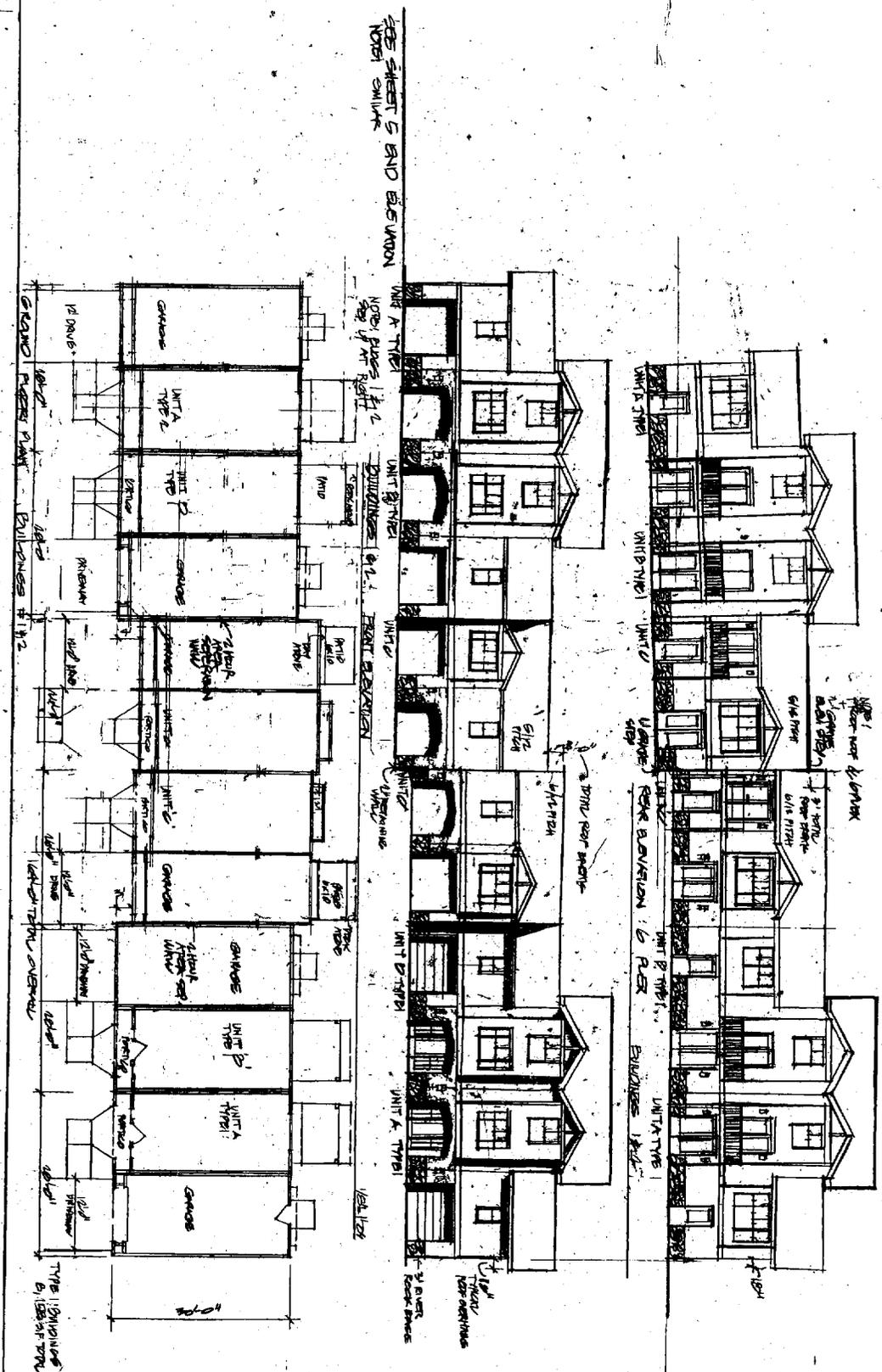
5

EXHIBIT B SHEET 7 OF 14



SEE SHEET 11. 125. 0000 FOR PLAN OF BUILDING

FRONT ELEVATION OF BUILDING IS TO BE FINISHED WITH GRASSING WITH FINISH OVER ELEVATION AT PERIMETER OF BUILDING



KEYWEST FARMS



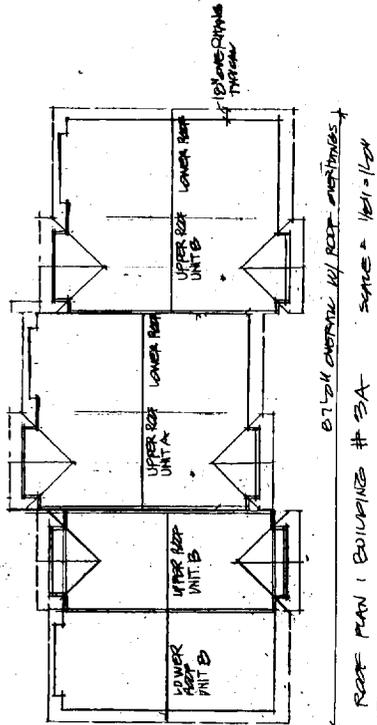




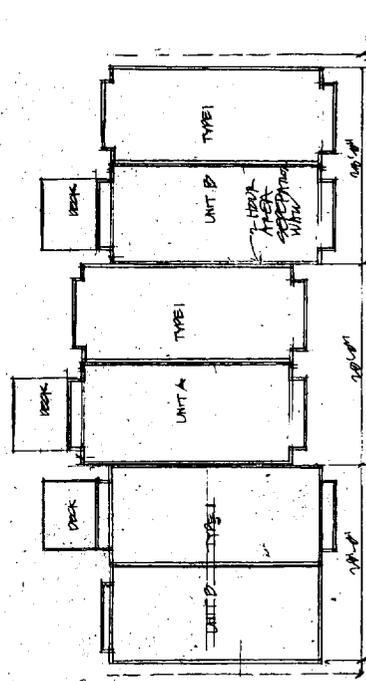
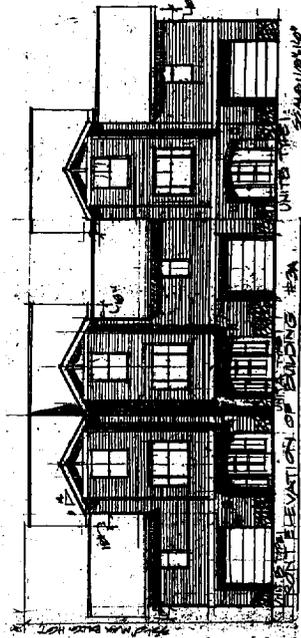
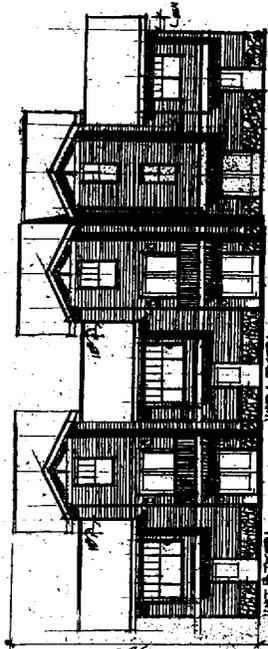




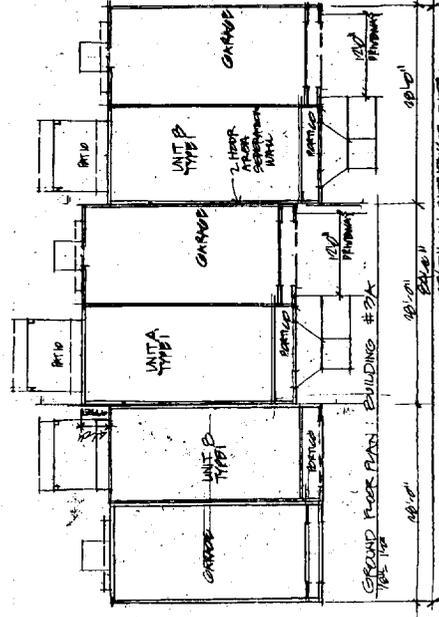
NOTE: END ELEVATION SIMILAR TO END ELEVATION ON SHEET 9



ROOF PLAN: BUILDING # 33A  
ELEVATIONS THROUGH  
SPACING = 145' x 115'

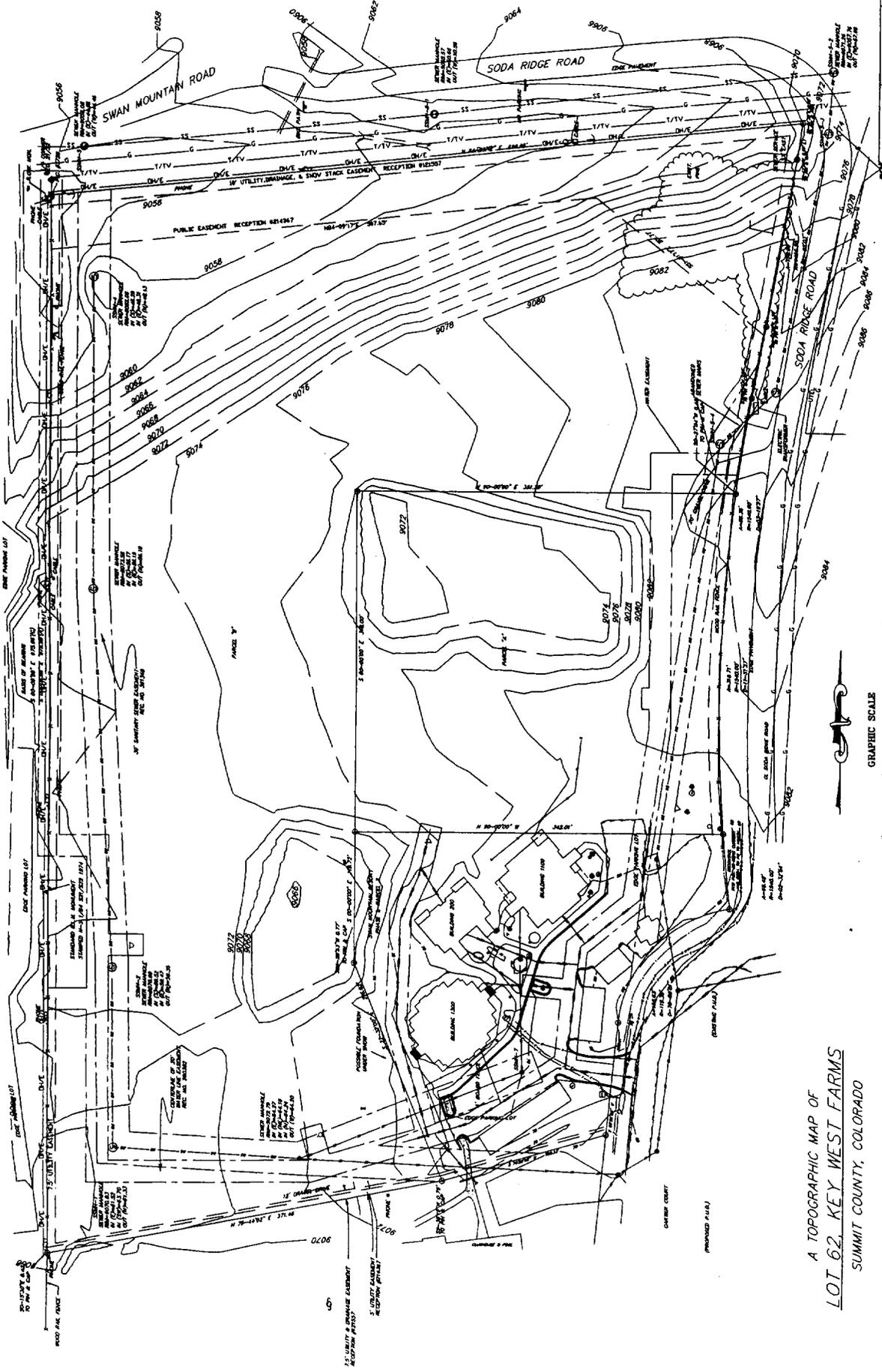


MAIN FLOOR PLAN: BUILDING # 33A  
(SIMILAR FOOTPRINT)



GROUND FLOOR PLAN: BUILDING # 33A  
(ELEV. 11) WITH GARAGE/POOR OVERALL

**EXHIBIT B SHEET 14 of 14**



A TOPOGRAPHIC MAP OF  
**LOT 62, KEY WEST FARMS**  
 SUMMIT COUNTY, COLORADO

**R-A-N-C-D**  
 Surveyors & Planners  
 P.O. Box 340  
 Silverthorn, CO 80488 773-668-6271

THIS MAP WAS PREPARED AND PUBLISHED BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS OF SUMMIT COUNTY, COLORADO. THE BOARD OF COUNTY COMMISSIONERS HAS REVIEWED AND APPROVED THIS MAP FOR PUBLICATION.

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